

**BRUHAT BANGALORE MAHANAGARA PALIKE**

Office of the  
Joint Director, Building Licence (South)  
MahanagaraPalike Offices  
Bangalore. Dated: 02-09-2020

No. JDBL (S)/ ADTP/ OC/ 12/20-21

**OCCUPANCY CERTIFICATE**

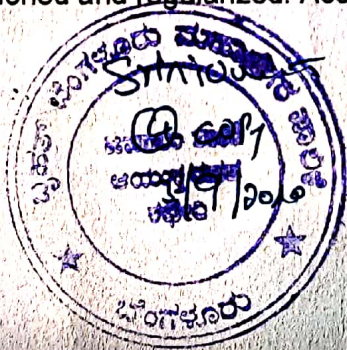
**Sub:** Issue of Occupancy Certificate for Residential Apartment Building at Khatha No. 1981/1921/ 1675/ 19/20/21/22, Pattanagere Village, Kengeri Hobli, Ward No. 198, Rajarajeshwarinagar Zone, Bangalore.

- Ref:**
- 1) Application for issue of Occupancy Certificate dt: 07-02-2020.
  - 2) Approval of Commissioner for issue of Occupancy Certificate dt: 06-06-2020.
  - 3) Re-Modified Plan sanctioned No. Ad.Com/RJH/ LP 1587/13-14, dt: 07-12-2018.
  - 4) Fire Clearance issued by Fire Force and Emergency Department vide No: GBC (1) / 291/2017 Docket No. KSFES (CC) 397/2020 dt: 01-09-2020.
  - 5) CFO from KSPCB vide Consent No. AW – 317946 PCB ID : 86430 dt: 12-05-2020.

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The Re-Modified plan was sanctioned for construction of Residential Apartment Building consisting B+G+5 UF vide LP No. Ad.Com/RJH/ LP 1587/13-14 dt: 07-12-2018. Commencement Certificate was issued on 27-12-2017 in Rajarajeshwarinagar Zonal office.

The Residential Apartment Building was inspected on dated: 12-03-2020 by the Officers of Town Planning Section for issue of Occupancy Certificate. During inspection, it is observed that, there is deviation in construction with reference to the sanctioned plan which is within the limits of regularization as per Bye-laws. The proposal for the issuance of Occupancy Certificate for the Residential Apartment Building was approved by the Commissioner on dated: 06-06-2020 vide mentioned at ref. (2). Payment of Compounding Fees, Scrutiny Fees works out to Rs. 7,06,000/- (Rs. Seven Lakhs Six Thousand only), has been paid by the applicant in the form of RE-ifms624-TP/000014 dated: 18-06-2020. The deviations effected in the building are condoned and regularized. Accordingly this Occupancy Certificate is issued.

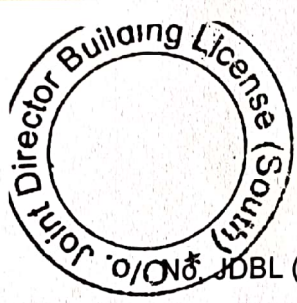


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Permission is hereby granted to occupy the BF+GF+5 UF for Residential purpose constructed at Property No. 1981/1921/ 1675/ 19/20/21/22, Pattanagere Village, Kengeri Hobli, Ward No. 198, Rajarajeshwarinagar Zone, Bangalore, with the following details;

Sl. No.	Floor Descriptions	Built up Area (in Sqm)	Remarks
1.	Basement Floor	2125.43	43 Nos. of Car parking, STP, Lift & Staircases.
2.	Ground Floor	1674.35	18 Nos. of Car parking in Surface areas, RWH, Organic convertor, Lift & Staircases.
3.	First Floor	1292.86	11 No. of Residential Units, Corridor, Lift & Staircases.
4.	Second Floor	1451.02	11 No. of Residential Units, Corridor, Lift & Staircases.
5.	Third Floor	1448.97	11 No. of Residential Units, Corridor, Lift & Staircases.
6.	Fourth Floor	1449.70	11 No. of Residential Units, Corridor, Lift & Staircases.
7.	Fifth Floor	1454.65	11 No. of Residential Units, Corridor, Lift & Staircases.
8.	Terrace	65.63	Solar, OHT, LMR, & Staircase Head room
	<b>Total</b>	<b>10962.61</b>	<b>Total No. of Units = 55 NOs.</b>
9.	<b>FAR</b>	<b>2.29</b>	
10.	<b>Coverage</b>	<b>55.46%</b>	

**This Occupancy Certificate is issued subject to the following conditions:**

1. The car parking at Basement Floor and Surface area shall have adequate safety measures. It shall be done entirely at the risk and cost of owner. BBMP will not be responsible for any kind of damage, losses, risks etc., arising out of the same.
2. The structural safety of building will be entirely at the risk and cost of owner / Architect / Engineer / Structural Engineer and BBMP will not be responsible for structural safety.
3. Owner shall not add or alter materially, the structure or a part of the structure there off without specific permission of BBMP. In the event of the applicant violating, the BBMP has the right to demolish the deviated / altered / added portion without any prior notice.

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4. Basement Floor and Surface area should be used for car parking purpose only and the additional area if any available in Basement Floor and surface area shall be used exclusively for car parking purpose only.
5. Footpath and road side drain in front of the building should be maintained in good condition.
6. Rain water harvesting structure shall be maintained in good condition for storage of water and shall be used for non potable purpose or recharge of ground water at all times as per Building Bye-laws-2003 clause No. 32 (b).
7. The owner / Association of high-rise building shall obtain clearance certificate from Fire Force Department every two years with due inspection by the department regarding working condition of Fire Safety Measures installed. The certificate should be produced to the corporation and shall get the renewal of the permission issued once in two years.
8. The Owner / Association of the high-rise building shall get the building inspected by empanelled agencies of the Fire Force Department to ensure that the fire equipments installed are in good and workable condition, and an affidavit to that effect shall be submitted to the corporation and Fire Force Department every year.
9. The owner / Association of high-rise building shall obtain clearance certificate from the Electrical Inspectorate every two years with due inspection by the department regarding working condition of Electrical installations / Lifts etc. The certificate should be produced to the corporation and shall get the renewal of the permission issued.
10. The Owner / Association of the high-rise building shall conduct two mock – drill in the building, one before the onset of summer and another during the summer and ensure complete safety in respect of fire hazards.
11. Since, deviations have been done from the sanctioned plan while constructing the building, the security deposit is herewith forfeited.
12. Owner shall make his own arrangements to dispose off the debris/garbage after segregating it into organic and inorganic waste generated from the building. Suitable arrangements shall be made by the owner himself to transport and dump these segregated wastes in consultation with the BBMP Zonal Health Officer.
13. All the rain water and waste water generated from the usage shall be pumped into the rain water harvesting pits and used for landscaping.
14. Garbage originating from building shall be segregated into organic and inorganic waste and should be processed in the recycling processing unit of suitable capacity i.e. organic waste convertor to be installed at site for its re use / disposal.

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